

LOT A / 121
EXISTING DWELLING
KNOCK DOWN REBUILD
AREA: 505.9m²
DP 365425

I/We understand that the area shown hatched is to be removed by the Owner prior to the Builder taking over the site.

Signature: _____

Signature: _____

LEGEND

Existing Trees		New Trees		Trees to be removed prior to commencement of building operations.	
Stormwater Main		A.G. Drain		Sewer Pipe	
Stormwater Disposal		Fencing by Contractor		Grated Drain	
Existing Fencing		Underground Power		Overhead Power	
100 Dia Stormwater					

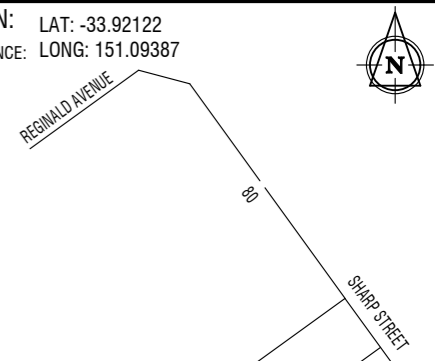
NOTE: MIN 200mm FREEBOARD
 SITE CUT & FILL LEVELS MAY VARY DUE TO SITE CONDITIONS.

DETAILS

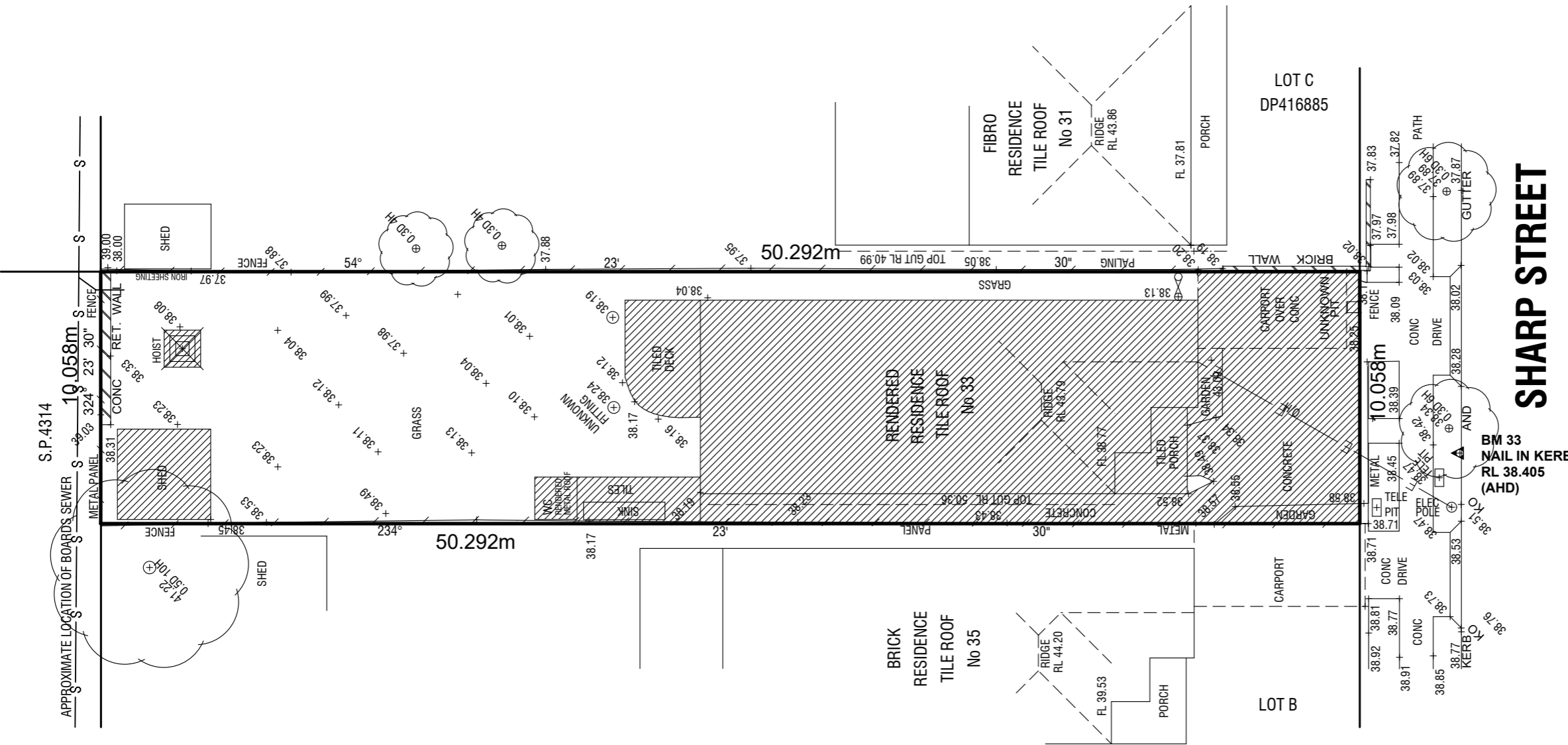
DATUM: RL 38.405 (AHD)
CONTOUR INTERVALS: 0.20 Metres
WATER CONNECTION: (BY THE BUILDER)
 20mm line from water meter to entry point.
WASTE DISPOSAL: (BY THE BUILDER)
 Connection to mains sewer in accordance with local authority requirements.
ROOFWATER DISPOSAL: (BY THE BUILDER)
 Connection of all downpipes to underground drain. Position of roofwater lines are indicative only and may vary depending on site.
POWER CONNECTION:
 Installation to underground line by the builder. Connection of power to main line by Electricity Authority.
EARTHWORKS: (BY THE BUILDER) **AG Drains: 0 Metres**
 Cut and fill to create level building platform. Remove spoil from site. Earthworks indicated on the plan are for construction purposes only.

LOCAL AUTHORITY: _____
TITLE PARTICULARS:
 LOT: _____ DIA/PLAN: _____
 VOL: _____ PARISH: _____
 FOL: _____ COUNTY: _____

LOCATION: LAT: -33.92122
 MAP REFERENCE: LONG: 151.09387



AMENDMENTS	
1	DB 14.03.22 Provide DEB to contain fill
2	DB 17.03.22 Plans revised to basic requirements



S.P. 4314 APPROXIMATE LOCATION OF BOARDS SEWER

SHARP STREET

ALL SHOWN HATCHED TO BE REMOVED BY OWNER PRIOR TO BUILDER TAKING OVER THE SITE



NOTE:
COMPLETION OF DEMOLITION IS SUBJECT TO SUPERVISOR'S INSPECTION

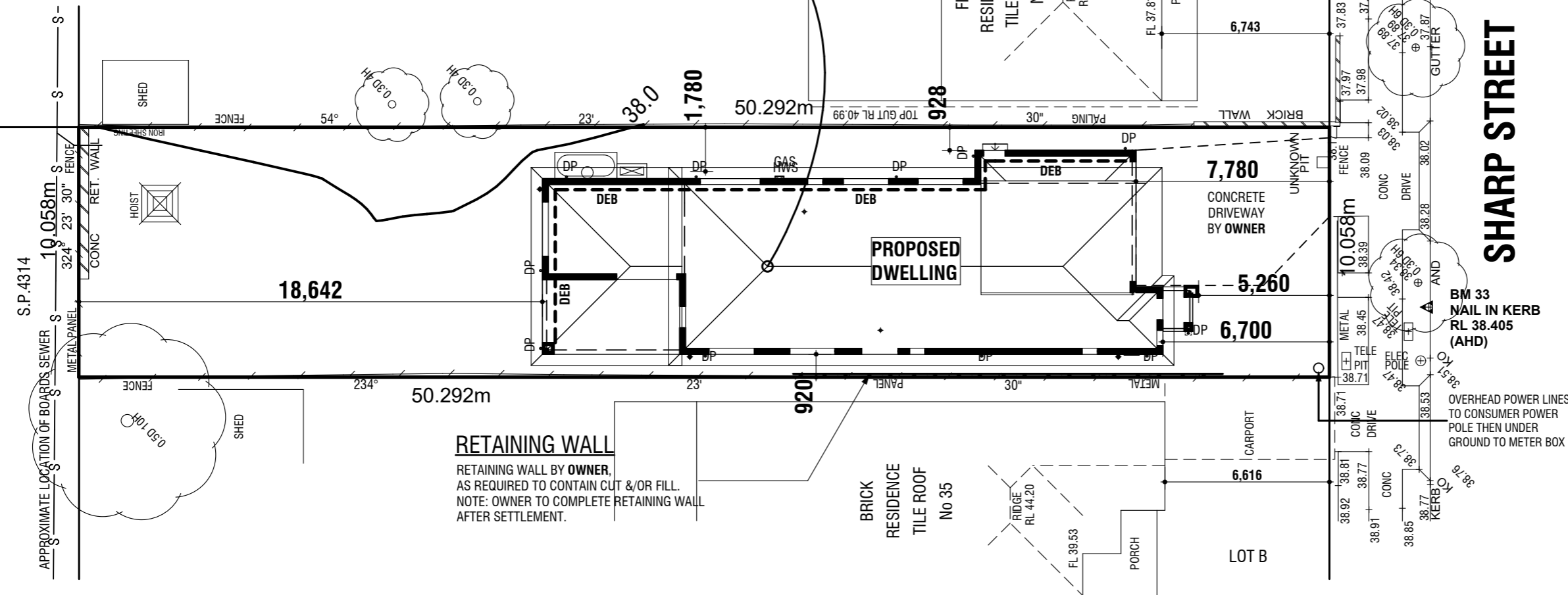
NEW HOME CONTRACT 1

RESIDENCE FOR: Kim Sung Hee Lot A, 33 Sharp Street, Belmore NSW 2192		Demolition Plan		HAND: _____	
		Robertson 255		SHEET NO: 01-1 1 of 15	
		Corella		SCALE: 1:200	
Burbank #noplace like home		DESIGN ID:	CONTRACT No: 186670		
Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222 Level 3, 88 Phillip Street, Paramatta NSW 2150 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C		SPECIFICATION: N.S.W.	NHP	NHC	WO
		S.I. No.	ISSUE	MASTER	NK 13.12.21 DB 25.01.22
		GEN:	DG 22/5/18		
		H.T.:			
		N.S.W.			

DESIGNED AS COMPLYING DEVELOPMENT
STORMWATER SYSTEM TO HYDRAULIC DETAILS

LOT A / 121
EXISTING DWELLING
KNOCK DOWN REBUILD
AREA: 505.9m²
DP 365425

BUILDING HEIGHT
MAX ALLOWED : 8.5m
RIDGE RL: 45.723m
NGL BELOW RIDGE RL: 38.10m
ACHIEVED BUILDING HEIGHT: 7.623m



LEGEND

Existing Trees	New Trees	Trees to be removed prior to commencement of building operations.
Stormwater Main	A.G. Drain	Sewer Pipe
Stormwater Disposal	Fencing by Contractor	Grated Drain
Existing Fencing	Overhead Power	100 Dia Stormwater

NOTE: MIN 200mm FREEBOARD
SITE CUT & FILL LEVELS MAY VARY DUE TO SITE CONDITIONS.

DETAILS

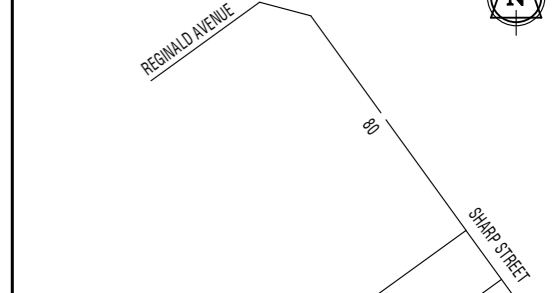
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LOCAL AUTHORITY:

TITLE PARTICULARS:

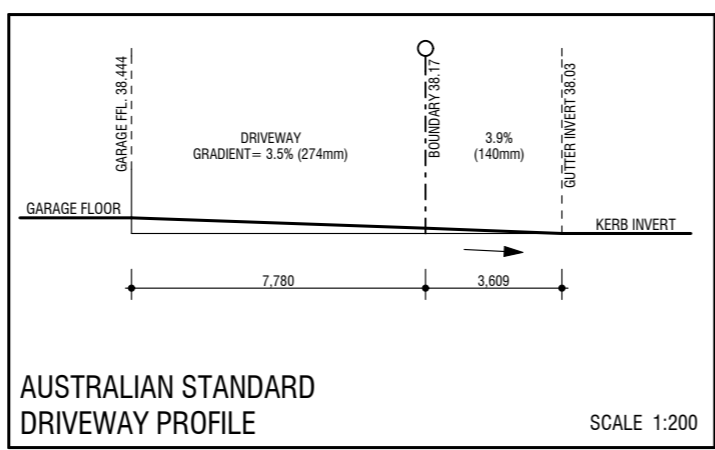
LOT: DIA/PLAN:
VOL: PARISH:
FOL: COUNTY:

LOCATION: LAT: -33.92122
MAP REFERENCE: LONG: 151.09387



CANTERBURY BANKSTOWN COUNCIL
CALCULATION TABLE: DCP Chapter C1

SITE AREA :	505.9 m ²
GROUND FLOOR :	126.5 m ²
FIRST FLOOR:	133.4 m ²
GARAGE :	22.1 m ²
PORCH/ALFRESCO :	18.9 m ²
DRIVEWAY AREA :	40.6 m ²
FLOOR SPACE RATIO (measured to internal face of external walls & less garage)	
Maximum allowed:	0.5:1 of site area: 252.95m ²
Achieved:	231.2m²
SITE COVERAGE	
Maximum allowed: (all structure on site)	50% of site area = 252.95m ²
Achieved:	35.9% of site area = 182m²
Maximum allowed: (building footprint)	330m ²
Achieved:	163.1m²
LANDSCAPE AREA	
Minimum Required:	20% of lot area = 101.18
Achieved:	41% of site area = 209.9m²



NEW HOME CONTRACT 1

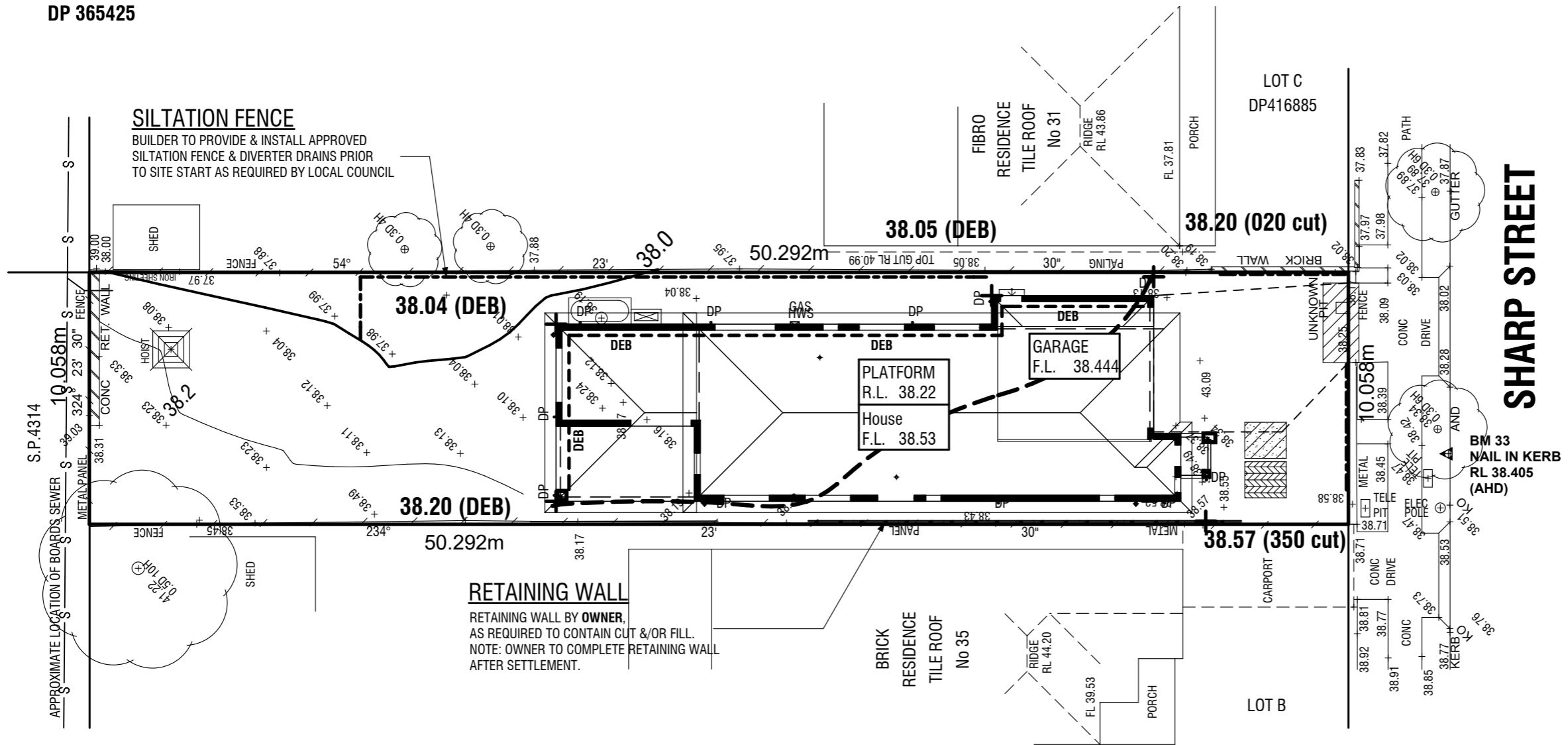
RESIDENCE FOR:
Kim Sung Hee
Lot A, 33 Sharp Street,
Belmore NSW 2192

Burbank
#noplacelikehome
Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222
Level 3, 88 Phillip Street, Paramatta NSW 2150
ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C

Site Plan		Robertson 255		Corella		HAND:	SHEET NO:
DESIGN ID:		CONTRACT No:		186670			01-2
SPECIFICATION: N.S.W.		NHP		NHC		2 of 15	
S.I. No.	ISSUE	MASTER	NK 13.12.21	DB 25.01.22	SCALE: 1:200		
GEN:		DG 22/5/18					
H.T.:	N.S.W.						



LOT A / 121
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KNOCK DOWN REBUILD
AREA: 505.9m²
DP 365425



SILTATION FENCE
 BUILDER TO PROVIDE & INSTALL APPROVED SILTATION FENCE & DIVERTER DRAINS PRIOR TO SITE START AS REQUIRED BY LOCAL COUNCIL

RETAINING WALL
 RETAINING WALL BY OWNER, AS REQUIRED TO CONTAIN CUT &/OR FILL. NOTE: OWNER TO COMPLETE RETAINING WALL AFTER SETTLEMENT.

LEGEND

Existing Trees	New Trees	Trees to be removed prior to commencement of building operations.
Stormwater Main	A.G. Drain	Sewer Pipe
Stormwater Disposal	Sewer Pipe	Fencing by Contractor
Existing Fencing	Underground Power	Grated Drain
Overhead Power	100 Dia Stormwater	

NOTE: MIN 200mm FREEBOARD
 SITE CUT & FILL LEVELS MAY VARY DUE TO SITE CONDITIONS.

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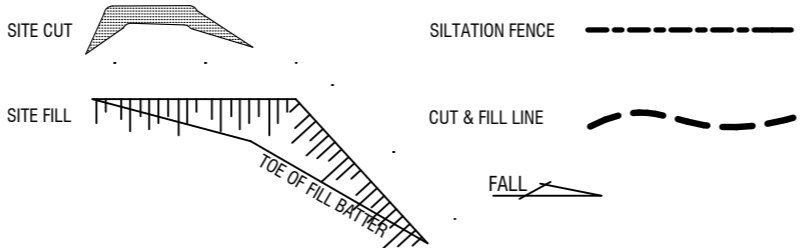
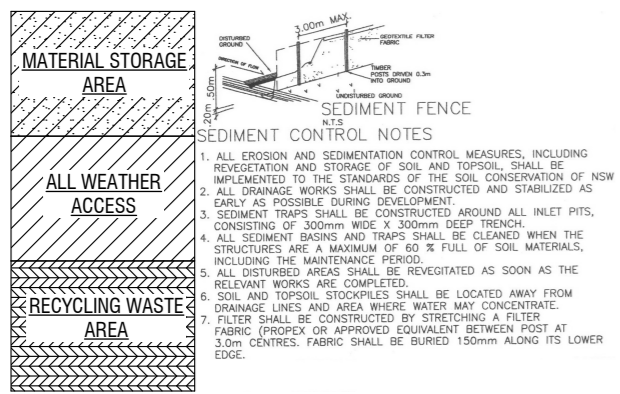
LOCAL AUTHORITY:
TITLE PARTICULARS:
 LOT: DIA/PLAN:
 VOL: PARISH:
 FOL: COUNTY:

LOCATION: LAT: -33.92122
 MAP REFERENCE: LONG: 151.09387

AMENDMENTS

1	DB 14.03.22	Provide DEB to contain fill
2	DB 17.03.22	Plans revised to basic requirements

NOTE: STORAGE AREAS INDICATIVE ONLY. POSITIONING MAY VARY FROM TIME TO TIME.

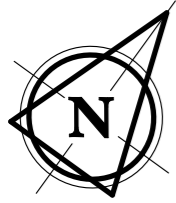


NEW HOME CONTRACT 1

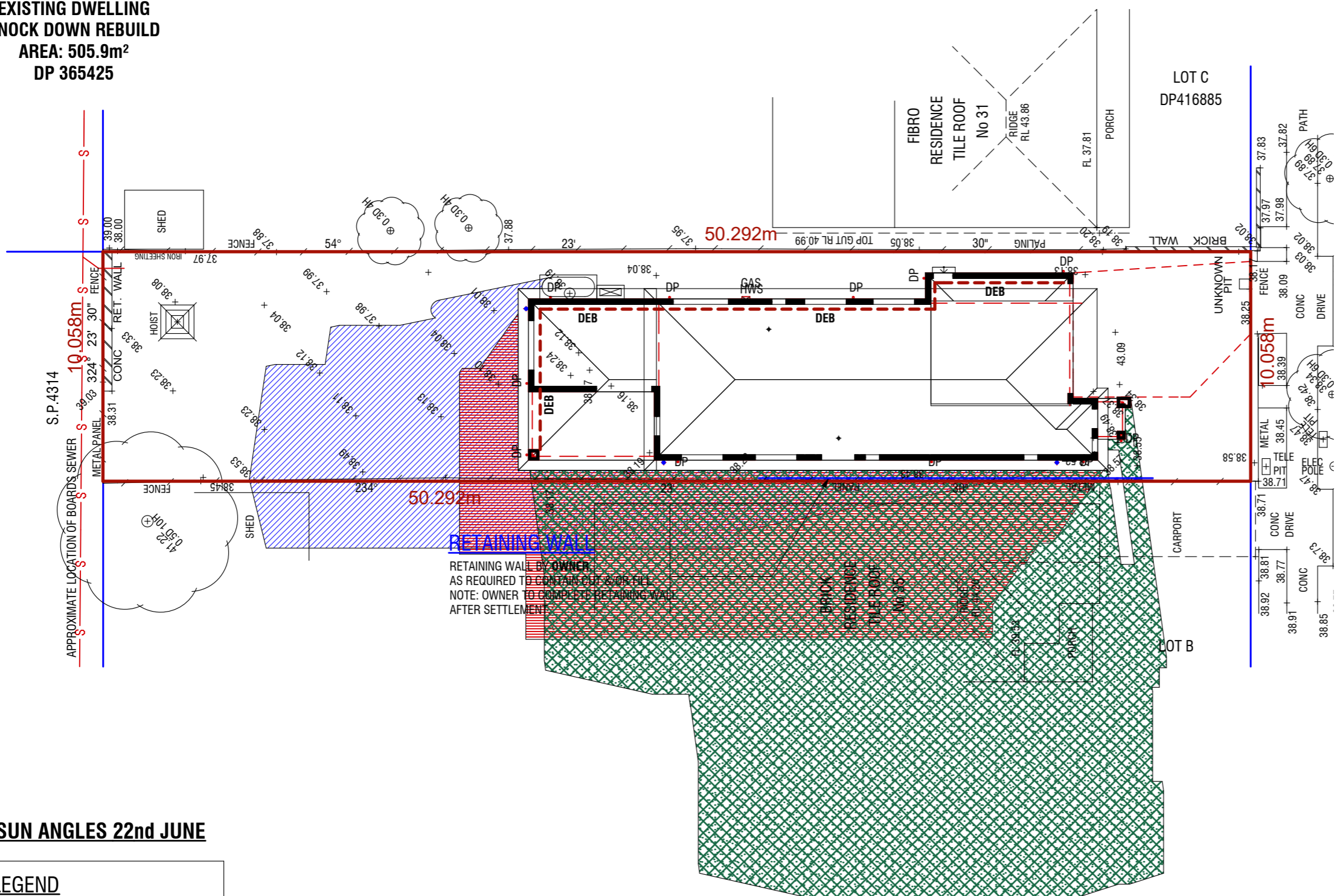
RESIDENCE FOR:
Kim Sung Hee
Lot A, 33 Sharp Street,
Belmore NSW 2192

Burbank
 #noplace like home
 Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222
 Level 3, 88 Phillip Street, Paramatta NSW 2150
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C

Site Works Plan		Robertson 255		Corella		HAND: 01-3	SHEET NO: 3 of 15
DESIGN ID:	CONTRACT No:	186670		SCALE: 1:200		N.S.W.	
SPECIFICATION: N.S.W.	NHP	NHC	WO				
S.I. No.	ISSUE	MASTER	NK 13.12.21	DB 25.01.22			
GEN:		DG 22/5/18					
H.T.:							



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AREA: 505.9m²
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RETAINING WALL
 RETAINING WALL BY OWNER
 AS REQUIRED TO CONTAIN CUT & FILL
 NOTE: OWNER TO COMPLETE RETAINING WALL
 AFTER SETTLEMENT

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Existing Fencing		100 Dia Stormwater			
Underground Power					
Overhead Power					

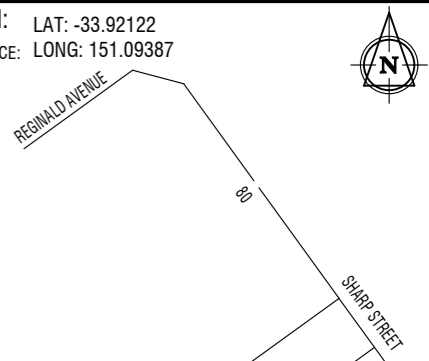
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LOCAL AUTHORITY:
TITLE PARTICULARS:
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 VOL: PARISH:
 FOL: COUNTY:

LOCATION: LAT: -33.92122
 MAP REFERENCE: LONG: 151.09387



SUN ANGLES 22nd JUNE

LEGEND

	9AM SHADOW
	12PM SHADOW
	3PM SHADOW

NEW HOME CONTRACT 1

RESIDENCE FOR:
Kim Sung Hee
Lot A , 33 Sharp Street,
Belmore NSW 2192

Burbank

#noplacelikehome
 Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222
 Level 3, 88 Phillip Street, Paramatta NSW 2150
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C

Shadow Diagrams		HAND: 01-4		
Robertson 255		SHEET No: 4 of 15		
Corella		SCALE: 1:200		
DESIGN ID:	CONTRACT No:	186670		
SPECIFICATION: N.S.W.	NHP	NHC	WO	
S.I. No.	ISSUE	MASTER	NK 13.12.21	DB 25.01.22
GEN:		DG 22/5/18		
H.T.:				

N.S.W.



LOT A / 121
EXISTING DWELLING
KNOCK DOWN REBUILD
AREA: 505.9m²
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Underground Power					

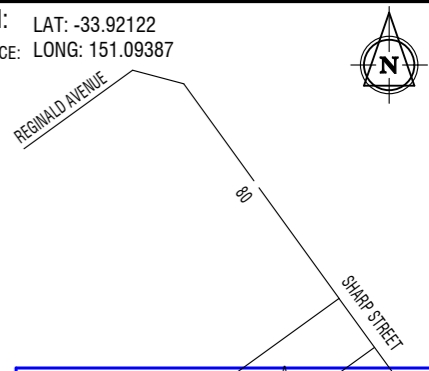
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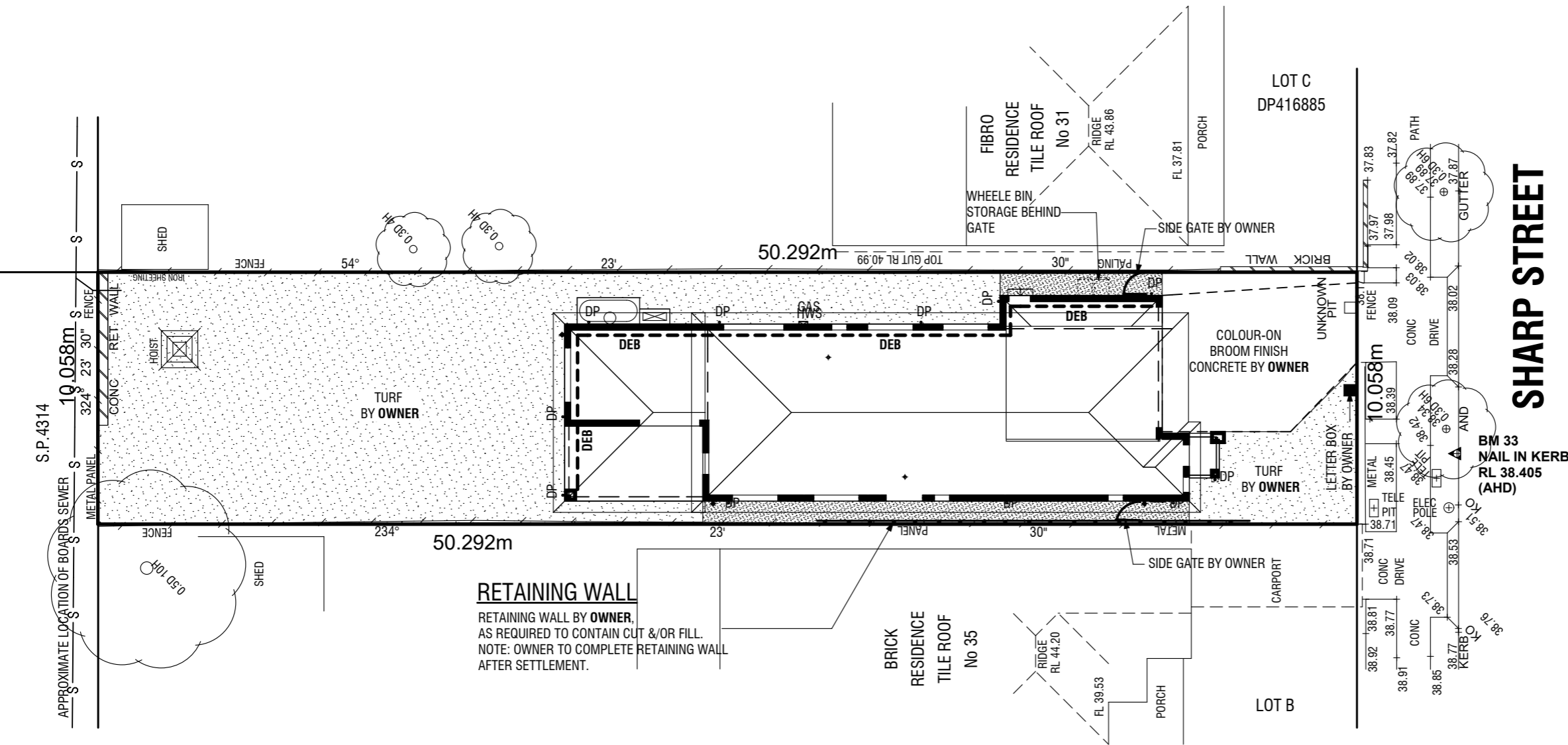
LOCAL AUTHORITY:
TITLE PARTICULARS:
 LOT: DIA/PLAN:
 VOL: PARISH:
 FOL: COUNTY:

LOCATION: LAT: -33.92122
 MAP REFERENCE: LONG: 151.09387



AMENDMENTS

1	DB 14.03.22	Provide DEB to contain fill
2	DB 17.03.22	Plans revised for basix requirements



RETAINING WALL
 RETAINING WALL BY OWNER, AS REQUIRED TO CONTAIN CUT &/OR FILL. NOTE: OWNER TO COMPLETE RETAINING WALL AFTER SETTLEMENT.

NEW HOME CONTRACT 1

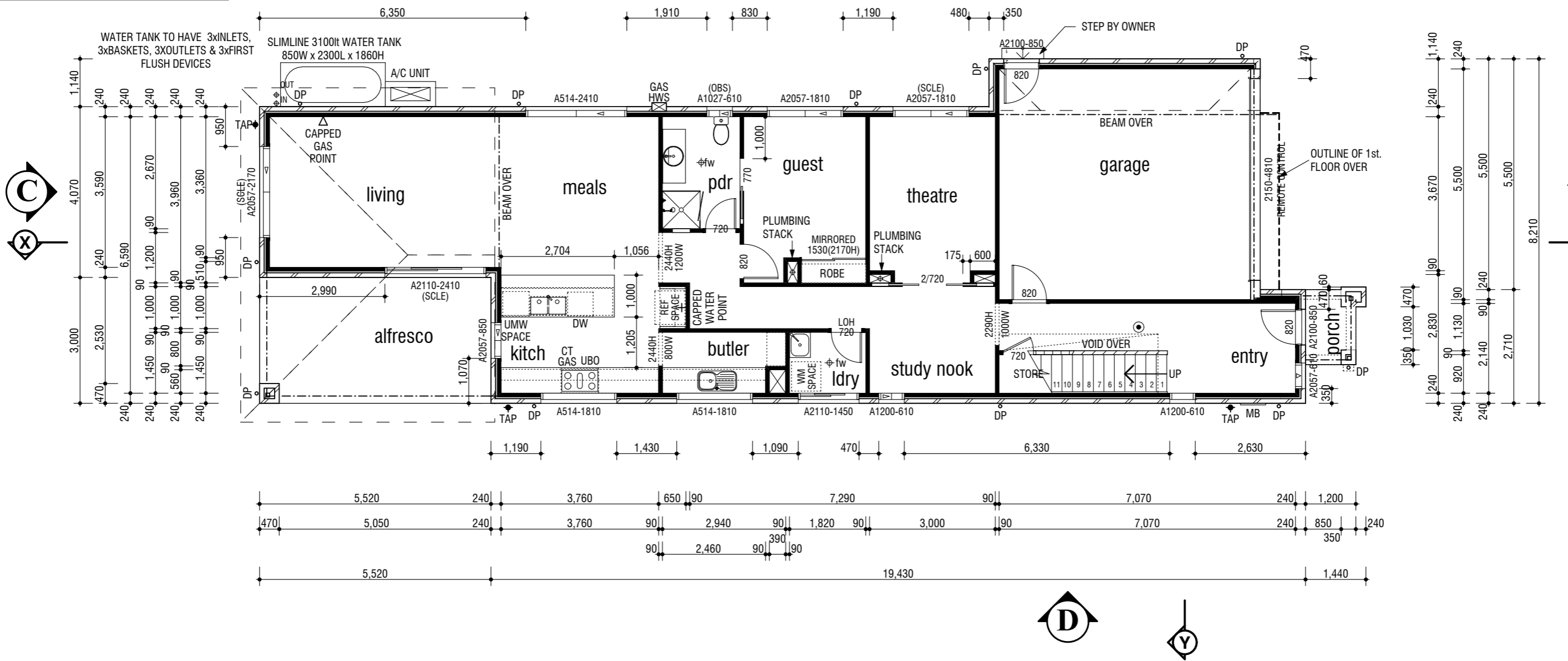
RESIDENCE FOR:
Kim Sung Hee
Lot A , 33 Sharp Street,
Belmore NSW 2192

Burbank
 #noplacelikehome
 Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222
 Level 3, 88 Phillip Street, Paramatta NSW 2150
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C

Landscaping Plan		HAND:	01-5
Robertson 255		SHEET No:	5 of 15
Corella		SCALE:	1:200
DESIGN ID:	CONTRACT No:	186670	
SPECIFICATION: N.S.W.	NHP	NHC	WO
S.I. No.	ISSUE	MASTER	NK 13.12.21 DB 25.01.22
GEN:	DG 22/5/18		
H.T.:			
N.S.W.			

STAIRCASE WALL BY STAIR MANUFACTURER

RECESSED WET AREA TO LAUNDRY & POWDER ONLY FAN TO LIVING TO MEET BASIX REQUIREMENTS



- GENERAL NOTES:-**
- WET AREAS IN ACCORDANCE WITH BCA REQUIREMENTS
 - STEPS: TREAD-250MIN, RISER-190MAX
 - BALUSTRADE : AT STEPS-865(MIN) HIGH AT LANDING-1000(MIN) HIGH
 - WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
 - UNLESS OTHERWISE SHOWN, HINGED DOORS TO BE 820-WIDE.
 - UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXTERNAL 240mm = 110 BRICK + 40 CAVITY + 90 STUD
 - INTERNAL 90mm STUD
 - REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
 - EXPANSION JOINTS ARE TO BE PROVIDED AS SHOWN

- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH BCA AMENDMENT 3 PART 3.8.3.3
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A P.2.4.5
- ROOF ACCESS
- CEILING VENTS
- SMOKE ALARM
- DOWNPIPE CONNECTED TO STORMWATER
- DOWNPIPE CONNECTED TO RAINWATER TANK
- LOAD BEARING WALL
- EAVE VENT
- WINDOW GLAZING CODES:
 - (OBS) : OBSCURED (CP) : COMFORT PLUS
 - (DG) : DOUBLE GLAZED (CT) : COMFORTONE
 - (SCLE) : SINGLE CLEAR LOW EMISSIVITY GLASS
 - (DCLE) : DOUBLE CLEAR LOW EMISSIVITY GLASS
 - (SG) : SMART GLASS SP10 CLEAR

DIMENSION : ALL ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

NEW HOME CONTRACT 1

FLOOR AREAS	Area
GRD. FL.	126.5m ²
FIRST FL.	133.4m ²
CAR ACC.	36.6m ²
SUB TOTAL	296.5m²
VER./POR.	2.3m ²
ALFRESCO	16.6m ²
TOTAL	315.4m²

RESIDENCE FOR:
Kim Sung Hee
 Lot A, 33 Sharp Street,
 Belmore NSW 2192

Burbank
 #noplace like home

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Ground Floor Plan			
SPECIFICATION: N.S.W.		CONTRACT No: 186670	
S.I. No.	ISSUE	MASTER	NK 13.12.21 DB 25.01.22
GEN:		DG 22/5/18	
H.T.:			

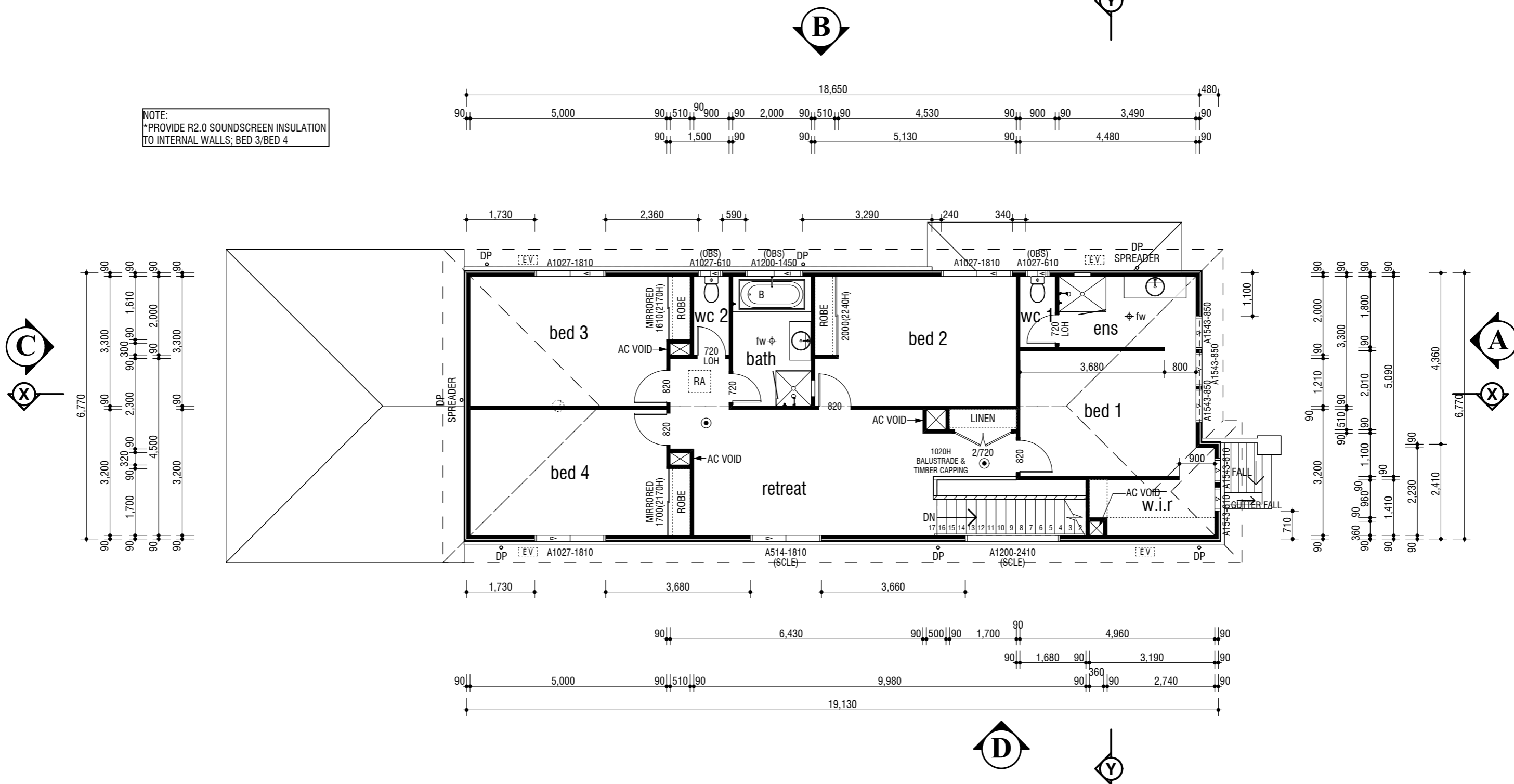
AMENDMENTS	
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2	DB 17.03.22 Plans revised to basix requirements

HAND: **02-1**
 SHEET No: **6 of 15**
 SCALE: 1:100

N.S.W.

STAIRCASE WALL BY STAIR MANUFACTURER

NOTE:
*PROVIDE R2.0 SOUNDSCREEN INSULATION TO INTERNAL WALLS: BED 3/BED 4



GENERAL NOTES:-

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- [RA] - ROOF ACCESS
- [EV] - CEILING VENTS
- [SMA] - SMOKE ALARM
- [DP] - DOWNSPIPE CONNECTED TO STORMWATER
- [DP] - DOWNSPIPE CONNECTED TO RAINWATER TANK
- [LBW] - LOAD BEARING WALL

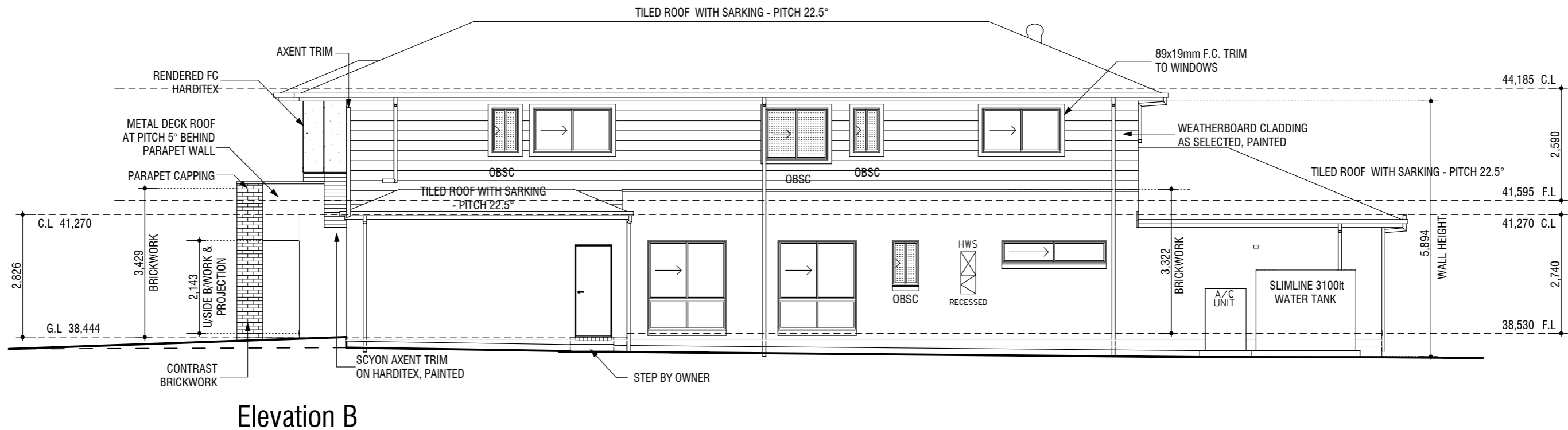
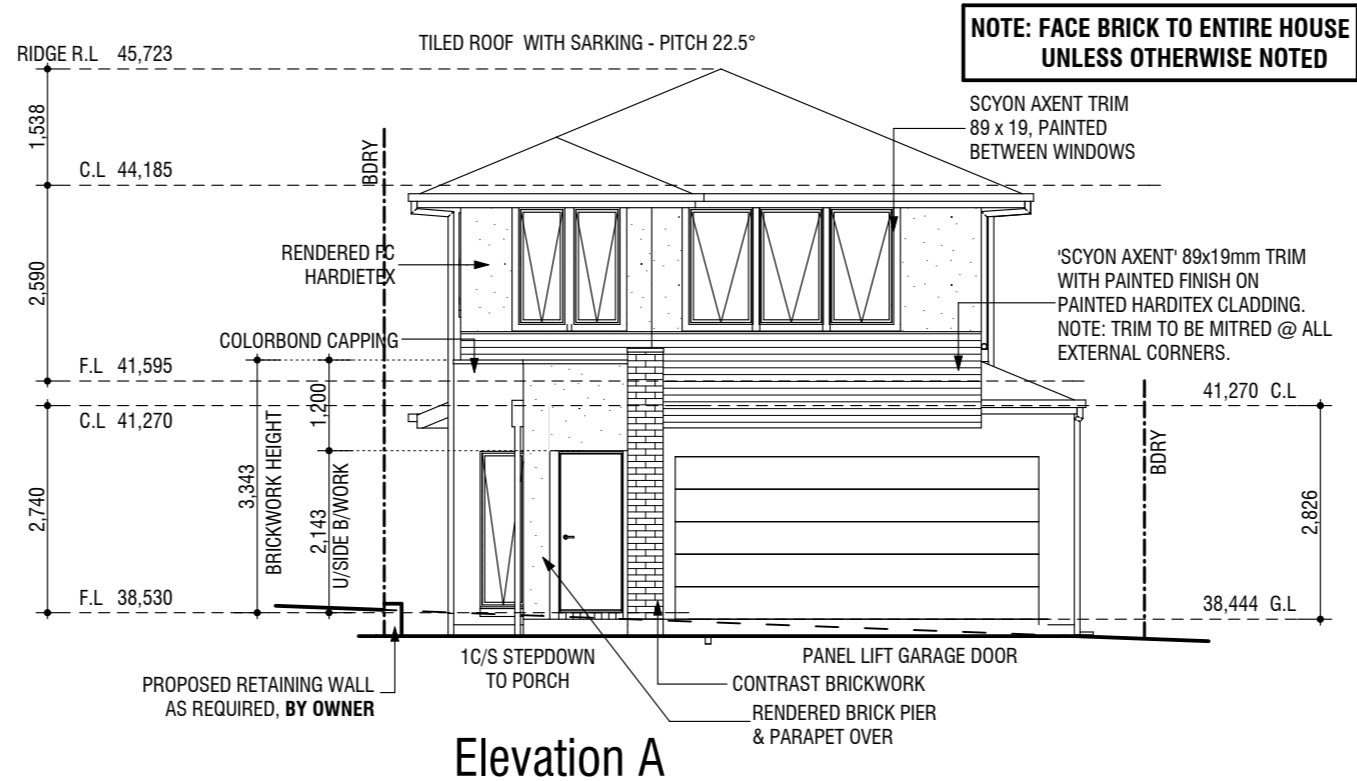
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DIMENSION SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

NEW HOME CONTRACT 1

RESIDENCE FOR: Kim Sung Hee Lot A, 33 Sharp Street, Belmore NSW 2192		First Floor Plan		HAND:	02-2
Burbank #noplace like home		Robertson 255		SHEET No:	7 of 15
Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222 Level 3, 88 Phillip Street, Paramatta NSW 2150 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C		DESIGN ID:	CONTRACT No:	SCALE: 1:100	
		SPECIFICATION: N.S.W.	NHP	NHC	WO
		S.I. No.	ISSUE	MASTER	NK 13.12.21 DB 25.01.22
		GEN:	DG 22/5/18		
		H.T.:			
		N.S.W.			

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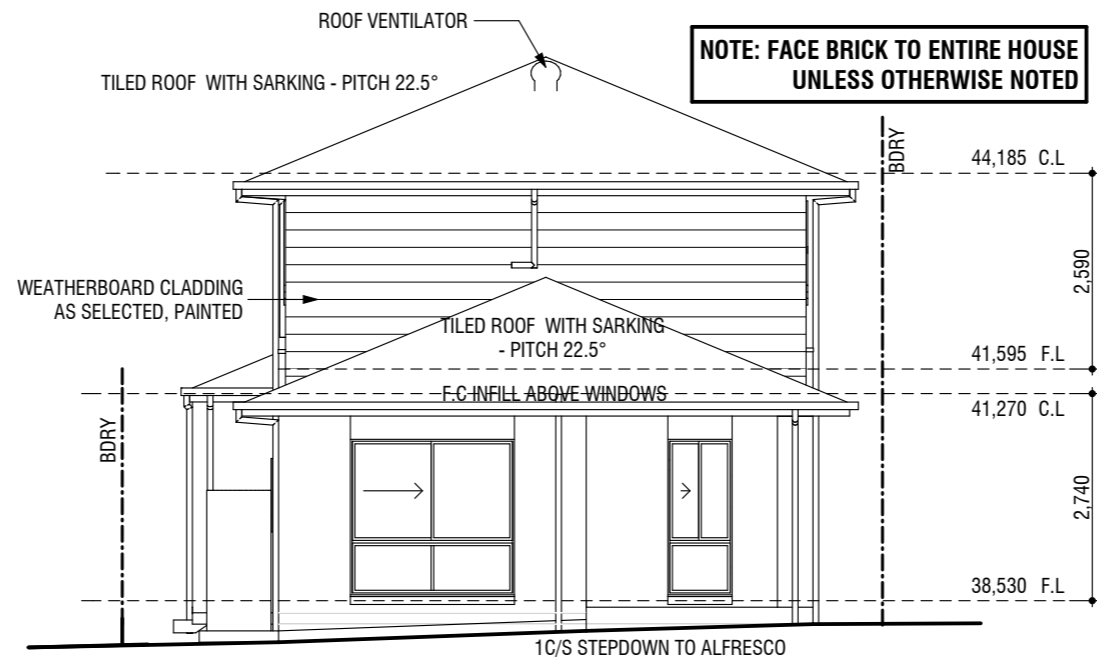
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 - (DCLE) : DOUBLE CLEAR LOW EMISSIVITY GLASS
 - (SG) : SMART GLASS SP10 CLEAR

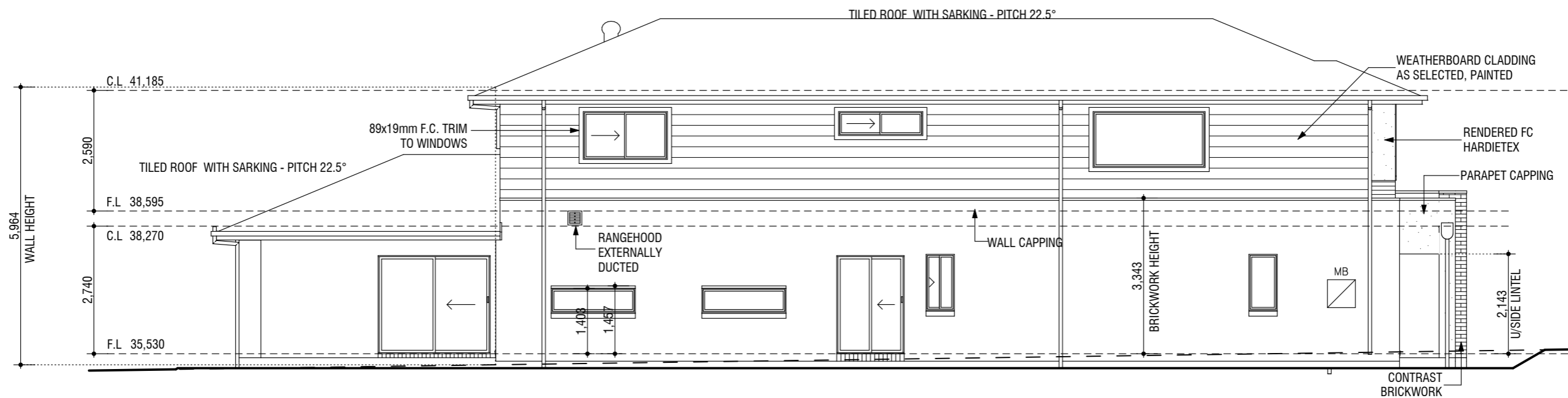
AMENDMENTS	
1	DB 14.03.22 Provide DEB to contain fill
2	DB 17.03.22 Plans revised to basix requirements

NEW HOME CONTRACT 1

RESIDENCE FOR: Kim Sung Hee Lot A, 33 Sharp Street, Belmore NSW 2192		External Elevations		HAND:	SHEET No: 03-1 8 of 15
Burbank #noplacelikehome		Robertson 255		SCALE: 1:100	
Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222 Level 3, 88 Phillip Street, Paramatta NSW 2150 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C		DESIGN ID:	CONTRACT No:	186670	
		SPECIFICATION:	N.S.W.	NHP	NHC
		S.I. No.	ISSUE	MASTER	NK 13.12.21 DB 25.01.22
		GEN:	DG 22/5/18		
		H.T.:			
		N.S.W.			



Elevation C



Elevation D

GENERAL NOTES:-

- WET AREAS IN ACCORDANCE WITH BCA REQUIREMENTS
- STEPS: TREAD-250MIN, RISER-190MAX
- BALUSTRADE : AT STEPS-865(MIN) HIGH AT LANDING-1000(MIN) HIGH
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- UNLESS OTHERWISE SHOWN, HINGED DOORS TO BE 820-WIDE.
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXTERNAL 240mm = 110 BRICK + 40 CAVITY + 90 STUD
 - INTERNAL 90mm STUD
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- EXPANSION JOINTS ARE TO BE PROVIDED AS SHOWN

- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH BCA AMENDMENT 3 PART 3.8.3.3
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A P.2.4.5
- ROOF ACCESS
- CEILING VENTS
- SMOKE ALARM
- DOWNPIPE CONNECTED TO STORMWATER
- DOWNPIPE CONNECTED TO RAINWATER TANK
- LOAD BEARING WALL

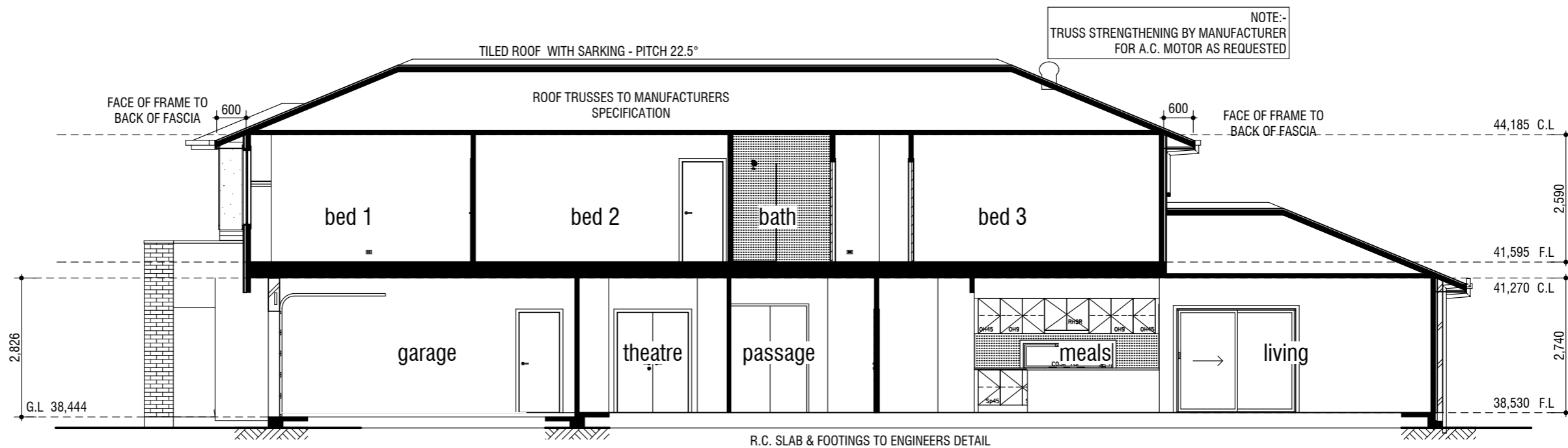
- EAVE VENT
- WINDOW GLAZING CODES:
 - (OBS) : OBSCURED (CP) : COMFORT PLUS
 - (DG) : DOUBLE GLAZED (CT) : COMFORTONE
 - (SCL) : SINGLE CLEAR LOW EMISSIVITY GLASS
 - (DCLE) : DOUBLE CLEAR LOW EMISSIVITY GLASS
 - (SG) : SMART GLASS SP10 CLEAR

DIMENSION SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

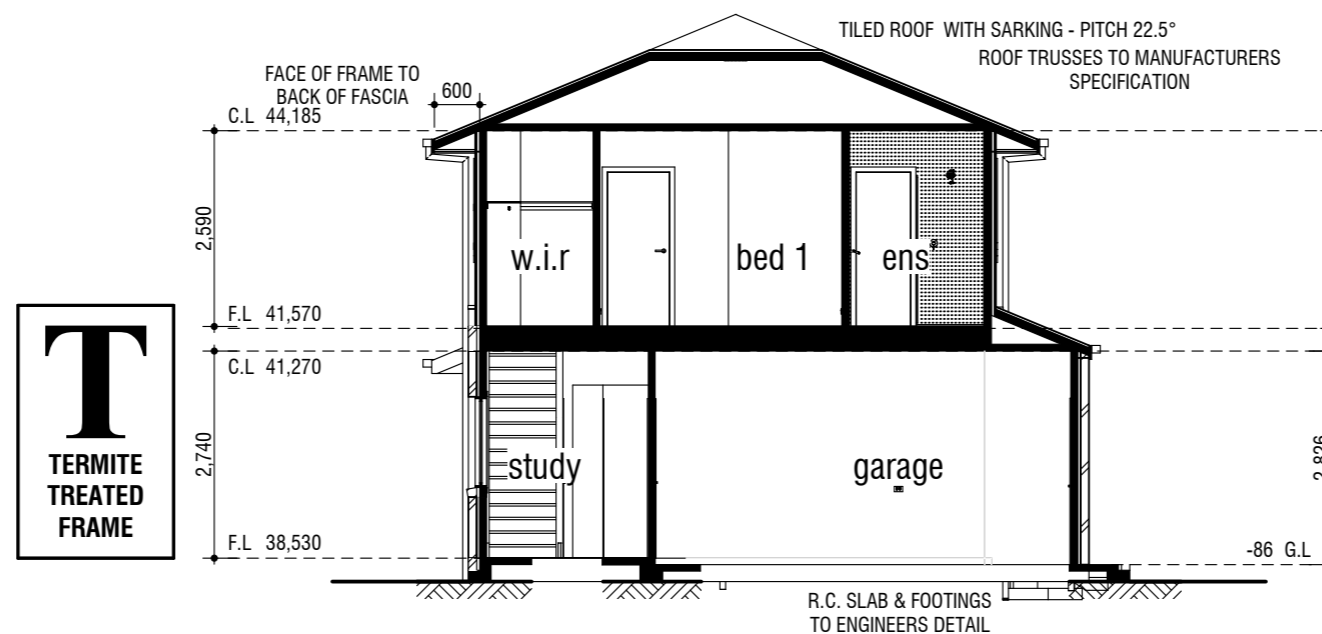
AMENDMENTS	
1	DB 14.03.22 Provide DEB to contain fill
2	DB 17.03.22 Plans revised to basix requirements

NEW HOME CONTRACT 1

RESIDENCE FOR: Kim Sung Hee Lot A , 33 Sharp Street, Belmore NSW 2192		External Elevations		HAND:	SHEET No: 03-2 9 of 15	
Burbank #noplace like home		Robertson 255		SCALE: 1:100		
Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222 Level 3, 88 Phillip Street, Paramatta NSW 2150 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C		DESIGN ID:	CONTRACT No:	186670	N.S.W.	
		SPECIFICATION: N.S.W.	NHP	NHC		WO
		S.I. No.	ISSUE	MASTER		NK 13.12.21
		GEN:	DG 22/5/18	DB 25.01.22		



Section X-X



Section Y-Y

PROVIDE R2.0 INSULATION TO EXTERNAL WALLS EXCLUDING GARAGE WALL
 PROVIDE R4.0 INSULATION TO ROOFED CEILINGS EXCLUDING GARAGE AND ALFRESCO CEILING
 PROVIDE BRADFORD ENVIROSEAL PROCTOR WRAP TO ALL EXTERNAL WALLS.

GENERAL NOTES:-

- WET AREAS IN ACCORDANCE WITH BCA REQUIREMENTS
- STEPS: TREAD-250MIN, RISER-190MAX
- BALUSTRADE: AT STEPS-865(MIN) HIGH AT LANDING-1000(MIN) HIGH
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- UNLESS OTHERWISE SHOWN, HINGED DOORS TO BE 820-WIDE.
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - EXTERNAL 240mm = 110 BRICK + 40 CAVITY + 90 STUD
 - INTERNAL 90mm STUD
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- EXPANSION JOINTS ARE TO BE PROVIDED AS SHOWN

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- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A P.2.4.5
- ROOF ACCESS
- CEILING VENTS
- SMOKE ALARM
- DOWNPIPE CONNECTED TO STORMWATER
- DOWNPIPE CONNECTED TO RAINWATER TANK
- LOAD BEARING WALL

- EAVE VENT
- WINDOW GLAZING CODES:
 - (OBS) : OBSCURED (CP) : COMFORT PLUS
 - (DG) : DOUBLE GLAZED (CT) : COMFORTONE
 - (SCL) : SINGLE CLEAR LOW EMISSIVITY GLASS
 - (DCLE) : DOUBLE CLEAR LOW EMISSIVITY GLASS
 - (SG) : SMART GLASS SP10 CLEAR

DIMENSION SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

AMENDMENTS	
1	DB 14.03.22 Provide DEB to contain fill
2	DB 17.03.22 Plans revised to basix requirements

NEW HOME CONTRACT 1

RESIDENCE FOR: Kim Sung Hee Lot A, 33 Sharp Street, Belmore NSW 2192		External Elevations/Sections		HAND:	03-3
Burbank #noplacelikehome		Robertson 255		SHEET NO:	
Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222 Level 3, 88 Phillip Street, Paramatta NSW 2150 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C		CONTRACT No: 186670		SCALE: 1:100	10 of 15
DESIGN ID: N.S.W.		S.I. No. ISSUE MASTER NK 13.12.21 DB 25.01.22		N.S.W.	
GEN: DG 22/5/18		H.T.:			

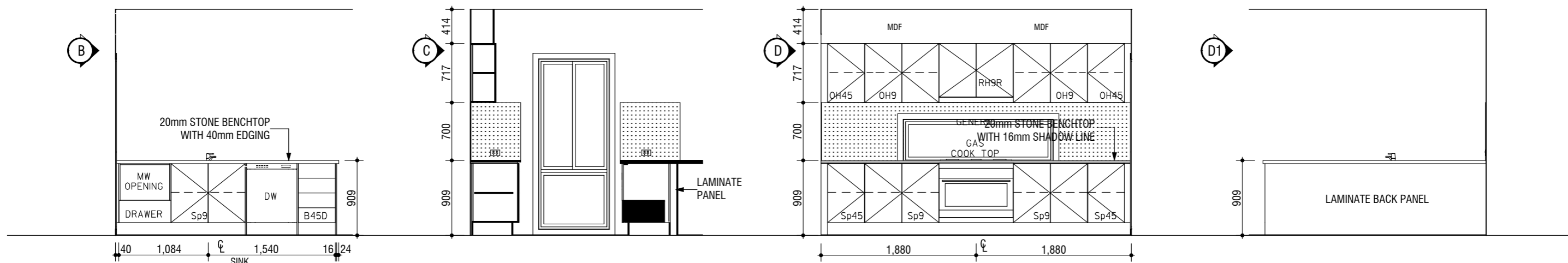
BASIX NOTES TABLE:	
WAFFLE POD SIZE: HOUSE WAFFLE POD:	310mm SLAB : 225mm POD THICKNESS
PROJECT TYPE: SEPARATE DWELLING HOUSE: No. OF BEDROOMS:	KNOCK DOWN REBUILD 5
SITE DETAILS: SITE AREA:	505.9 m2
TOTAL ROOF AREA (INCLUDING EAVES):	212 m2
TOTAL SOFT LANDSCAPED AREA: (INCLUDES ALL UNBUILT UPON AREA OF SITE & EXCLUDES ALL BUILDING(S) DRIVEWAY & PATHS)	209 m2
RAINWATER: IS A RAINWATER TANK PROPOSED: MINIMUM RAINWATER TANK SIZE: ROOF AREA COLLECTED BY RAINWATER TANK: RAINWATER CONNECTED TO:	YES 3100 LITRES 212 m2 GARDEN / TOILETS / LAUNDRY
WATER SUPPLY: IS DUAL / RETICULATED WATER AVAILABLE TO SITE: IS TOWN WATER AVAILABLE TO SITE:	NO YES
WATER FIXTURES: SHOWER HEAD RATING: TOILET FLUSHING SYSTEM RATING: KITCHEN TAP FITTING RATING: BASIN TAP RATING:	3 STAR - 8 LITRES/MINUTE 4 STAR 4 STAR 4 STAR
HOT WATER SYSTEM: HOT WATER SYSTEM TYPE:	GAS INSTANT. 6 STAR HWS
AIR CONDITIONING SYSTEM: IS AIR CONDITIONING PROPOSED TO THE DWELLING:	YES NO
AIR CONDITIONING SYSTEM BY BUILDER: (ON 2 ZONES : LIVING RMS. x 1 ZONE & BEDS x 1 ZONE)	1 PHASE
LIVING & BEDROOM AREA COOLING SYSTEM: LIVING & BEDROOM AREA HEATING SYSTEM:	E.E.R 3.25 C.O.P 3.81
COOKING APPLIANCES: COOKING APPLIANCE TYPE:	GAS COOKTOP WITH ELECTRIC OVEN
THERMAL COMFORT: MAX. EAVE WIDTH INCLUDING EAVE, FASCIA & GUTTER: EXTERNAL WALL INSULATION (EXCLUDING GARAGE): CEILING INSULATION (EXCLUDING ABOVE GARAGE & BETWEEN GF CEILING AND FF FLOOR ON 2 STORY DWELLINGS): IS ANTICON BLANKET PROVIDED TO UNDERSIDE OF ROOF: IS SARKING PROVIDED TO UNDERSIDE OF ROOF: IS SARKING PROVIDED TO EXTERNAL WALLS: ROOF MATERIAL TYPE: ROOF COLOUR CLASSIFICATION:	600 mm R 2.0 R 4.0 NO YES YES TILES DARK
GENERAL: WEATHER STRIPPING TO ALL EXTERNAL DOORS: WELL VENTILATED REFRIDGERATOR SPACE: CLOTHES LINE TYPE:	YES NO INDOOR & OUTDOOR (BY OWNER)
EXHAUSTS: ALL EXHAUSTS TO BE SEALED:	YES
DOWNLIGHTS:	ALL DOWNLIGHT INSTALLATIONS TO BE UNVENTED AND COVERABLE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS & AUSTRALIAN STANDARDS

GLAZING SCHEDULE			
Windows:			
ID	Size (HxW)	Frame Material	Glazing Type
Alfresco and Kitch Sliding Window	2057 x 850	Aluminium	CLEAR
Bath Sliding Window	1200 x 1450	Aluminium	OBSCURE
Bed 1 Awning Window	1543 x 850	Aluminium	CLEAR
Bed 1 Awning Window	1543 x 850	Aluminium	CLEAR
Bed 2 and Wc 1 Sliding Window	1027 x 610	Aluminium	OBSCURE
Bed 2 Sliding Window	1027 x 1810	Aluminium	CLEAR
Bed 3 Sliding Window	1027 x 1810	Aluminium	CLEAR
Bed 4 Sliding Window	1027 x 1810	Aluminium	CLEAR
Butler Fixed Window	514 x 1810	Aluminium	CLEAR
Ens and Bed 1 Awning Window	1543 x 850	Aluminium	CLEAR
Entry Fixed Window	1200 x 610	Aluminium	CLEAR
Guest Sliding Window	2057 x 1810	Aluminium	CLEAR
Kitch Fixed Window	514 x 1810	Aluminium	CLEAR
Living Sliding Window	2057 x 2170	Aluminium	SCLE
Meals Sliding Window	514 x 2410	Aluminium	CLEAR
Pdr Sliding Window	1027 x 610	Aluminium	OBSCURE
Porch and Entry Awning Window	2057 x 610	Aluminium	CLEAR
Retreat Sliding Window	514 x 1810	Aluminium	SCLE
Study Nook Sliding Window	1200 x 610	Aluminium	CLEAR
Theatre Sliding Window	2057 x 1810	Aluminium	SCLE
Void Fixed Window	1200 x 2410	Aluminium	SCLE
W.i.r Awning Window	1543 x 610	Aluminium	CLEAR
W.i.r Awning Window	1543 x 610	Aluminium	CLEAR
Wc 2 Sliding Window	1027 x 610	Aluminium	OBSCURE
Doors:			
ID	Size (HxW)	Frame Material	Glazing Type
Swing Door	2130 x 850	Aluminium	CLEAR
Alfresco and Living Sliding Door	2110 x 2410	Aluminium	SCLE
Ldry Sliding Door	2110 x 1450	Aluminium	CLEAR
Porch and Entry Swing Door	2130 x 850	Aluminium	CLEAR

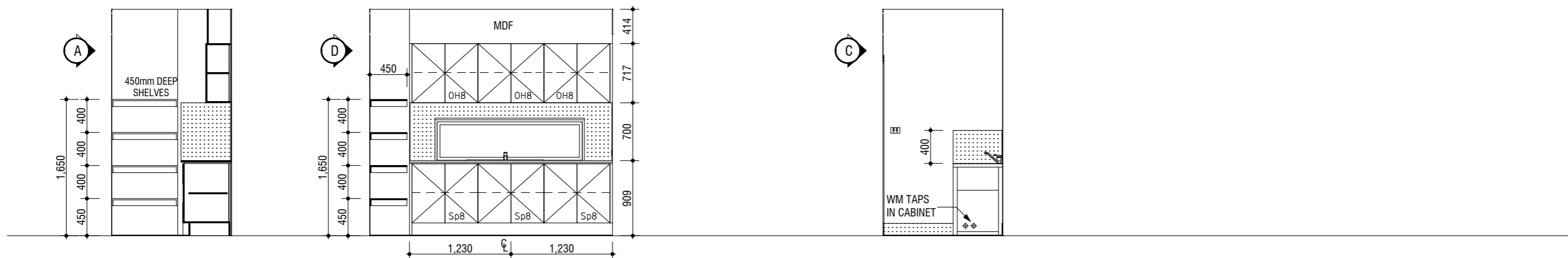
AMENDMENTS		
1	DB 14.03.22	Provide DEB to contain fill
2	DB 17.03.22	Plans revised to basix requirements

NEW HOME CONTRACT 1

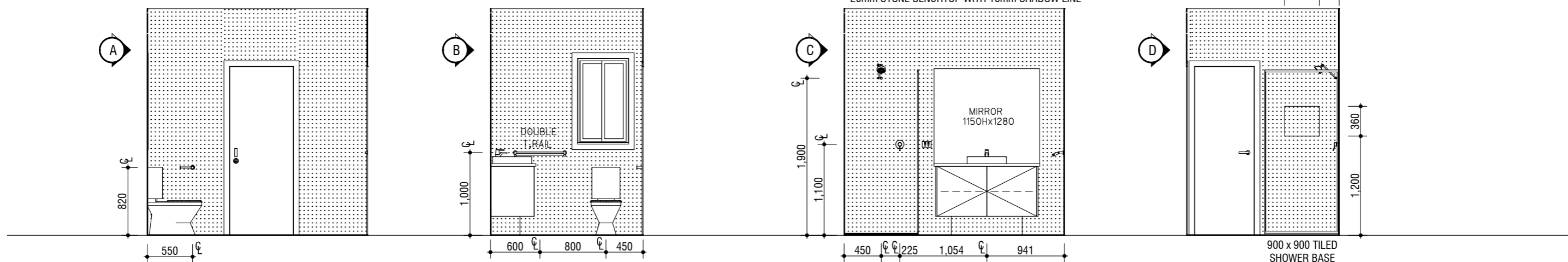
RESIDENCE FOR: Kim Sung Hee Lot A , 33 Sharp Street, Belmore NSW 2192		Basix & Glazing Schedule		HAND:	SHEET No: 03-4 11 of 15
		Robertson 255		SCALE: 1:100	
Burbank #noplacelikehome		DESIGN ID:	CONTRACT No:	186670	
Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222 Level 3, 88 Phillip Street, Paramatta NSW 2150 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C		SPECIFICATION: N.S.W.	NHP	NHC	WO
		S.I. No.	ISSUE	MASTER	NK 13.12.21 DB 25.01.22
		GEN:	DG 22/5/18		
		H.T.:			
		N.S.W.			



Kitchen



W.I.P.



Powder

- NOTES:-**
- DIMENSIONS ARE TAKEN FROM FRAME
 - WALL TILE SIZE: _____
 - FLOOR TILE SIZE: _____
 - SKIRTING TILES TO BATHROOMS, LAUNDRY AND WC. TILE SIZE: _____

□ POWER POINT LOCATION

FITTING LOCATIONS	
ITEM	HEIGHT ABOVE FLR
PAPER HOLDER	820
TOWEL RAIL	910/1600
TOWEL RING	820
SHOWER SOAP HOLDER	1000 NOMINAL

WATER PIPE LOCATIONS					
No.	ITEM	INLET ABOVE FLR.	No.	ITEM	INLET ABOVE FLR.
1	WATER CLOSET	250	6	SINK	650
2	BIDET	250	7	DISHWASHER	500
3	BATH	500 UNLESS OTHERWISE SHOWN	8	TROUGH	1085
4	SHOWER	1000 (TAPS) / 1900 (ROSE)	9	WASHING MACHINE	1275
5	BASIN	600	10	FLOOR WASTE	-

FROM FRAME OFFSETS: (SHOWER ROSE=400 CL), (SHOWER TAPS=575 CL), (SOAP HOLDER=325 CL)

AMENDMENTS	
1	DB 14.03.22 Provide DEB to contain fill
2	DB 17.03.22 Plans revised to basix requirements

NEW HOME CONTRACT 1

RESIDENCE FOR:
Kim Sung Hee
 Lot A, 33 Sharp Street,
 Belmore NSW 2192

Burbank
 #noplacelikehome

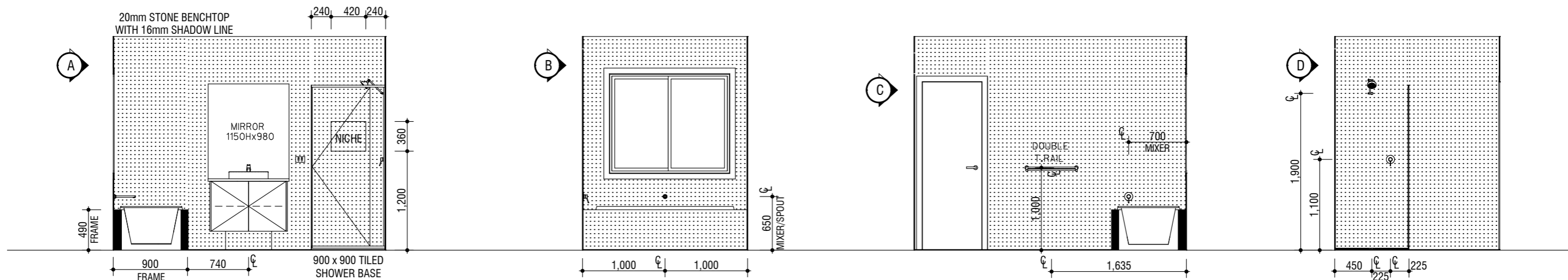
Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222
 Level 3, 88 Phillip Street, Paramatta NSW 2150
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C

Internal Elevations
Robertson 255
Corella

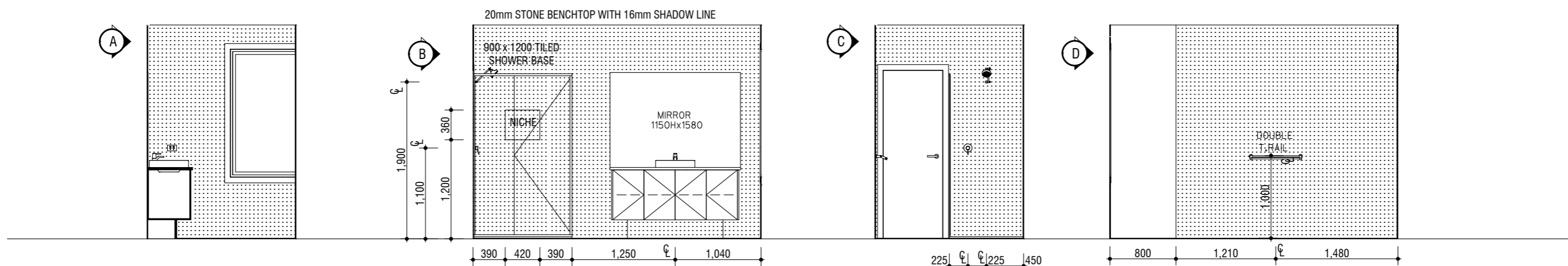
DESIGN ID: _____ CONTRACT No: 186670
 SPECIFICATION: N.S.W. NHP NHC WO
 S.I. No. ISSUE MASTER NK 13.12.21 DB 25.01.22
 GEN: _____ DG 22/5/18
 H.T.: _____

HAND: _____ SHEET No: **04-1**
 SCALE: 1:50 **12 of 15**

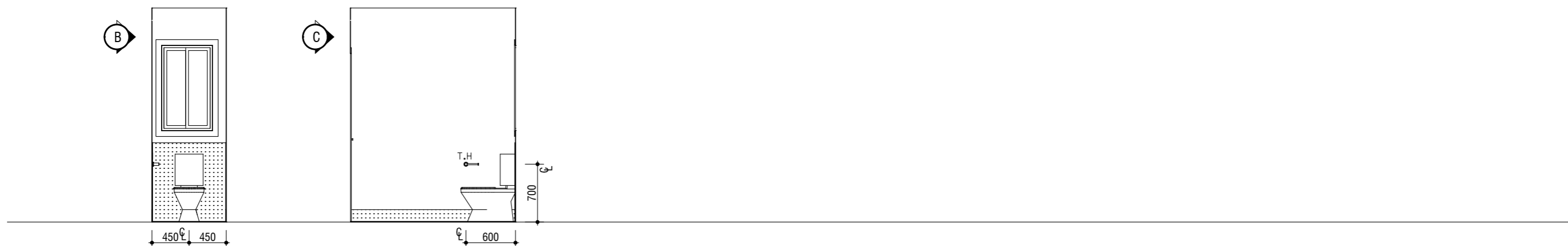
N.S.W.



Bathroom



Ensuite



WC

- NOTES:-
- DIMENSIONS ARE TAKEN FROM FRAME
 - WALL TILE SIZE: _____
 - FLOOR TILE SIZE: _____
 - SKIRTING TILES TO BATHROOMS, LAUNDRY AND WC. TILE SIZE: _____

□ POWER POINT LOCATION

FITTING LOCATIONS	
ITEM	HEIGHT ABOVE FLR
PAPER HOLDER	820
TOWEL RAIL	910/1600
TOWEL RING	820
SHOWER SOAP HOLDER	1000 NOMINAL

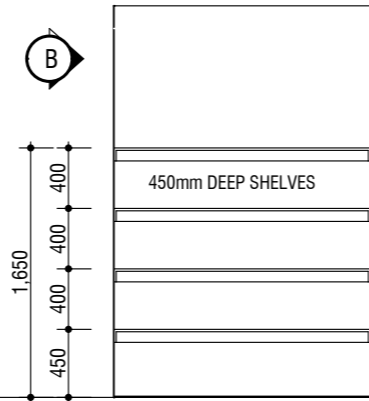
WATER PIPE LOCATIONS					
No.	ITEM	INLET ABOVE FLR.	No.	ITEM	INLET ABOVE FLR.
1	WATER CLOSET	250	6	SINK	650
2	BIDET	250	7	DISHWASHER	500
3	BATH	500	8	TROUGH	1085
4	SHOWER	1000 (TAPS) / 1900 (ROSE)	9	WASHING MACHINE	1275
5	BASIN	600	10	FLOOR WASTE	-

FROM FRAME OFFSETS: (SHOWER ROSE=400 CL), (SHOWER TAPS=575 CL), (SOAP HOLDER=325 CL)

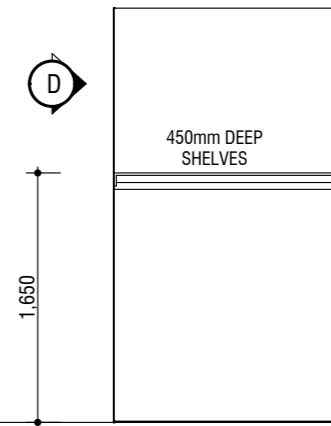
AMENDMENTS	
1	DB 14.03.22 Provide DEB to contain fill
2	DB 17.03.22 Plans revised to basix requirements

NEW HOME CONTRACT 1

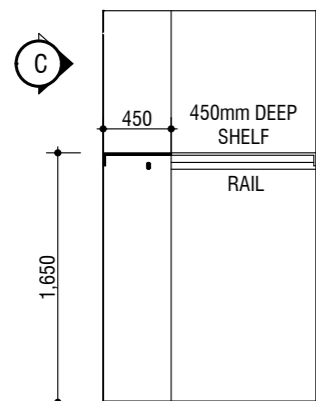
RESIDENCE FOR: Kim Sung Hee Lot A, 33 Sharp Street, Belmore NSW 2192		Internal Elevations		HAND:	SHEET No: 04-2 13 of 15
Burbank #noplacelikehome		Robertson 255		SCALE: 1:50	
Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222 Level 3, 88 Phillip Street, Paramatta NSW 2150 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C		DESIGN ID:	CONTRACT No:	186670	
SPECIFICATION: N.S.W.		NHP	NHC	WO	
S.I. No.	ISSUE	MASTER	NK 13.12.21	DB 25.01.22	
GEN:	DG 22/5/18				
H.T.:					
N.S.W.					



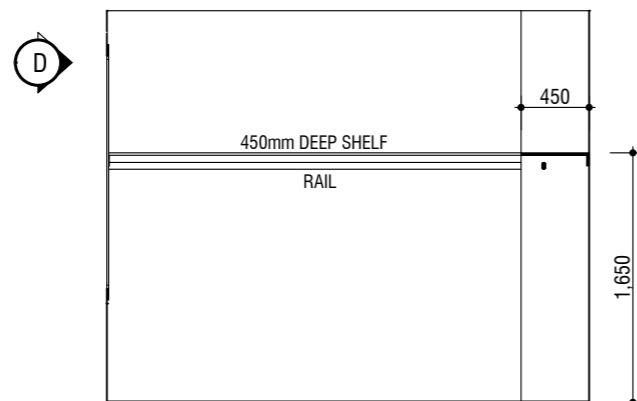
Linen



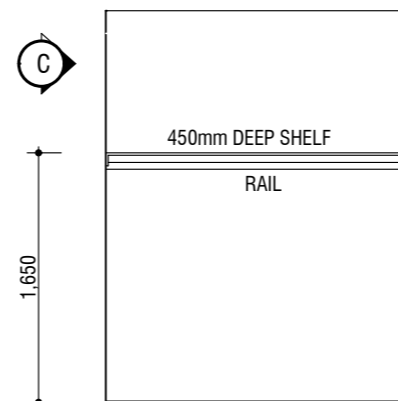
Guest Robe



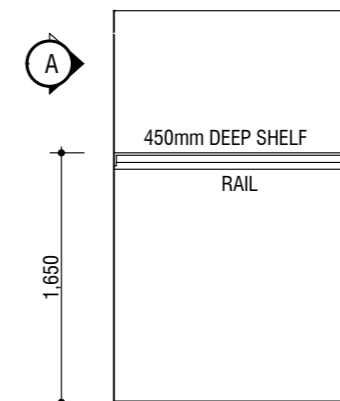
W.I.R.



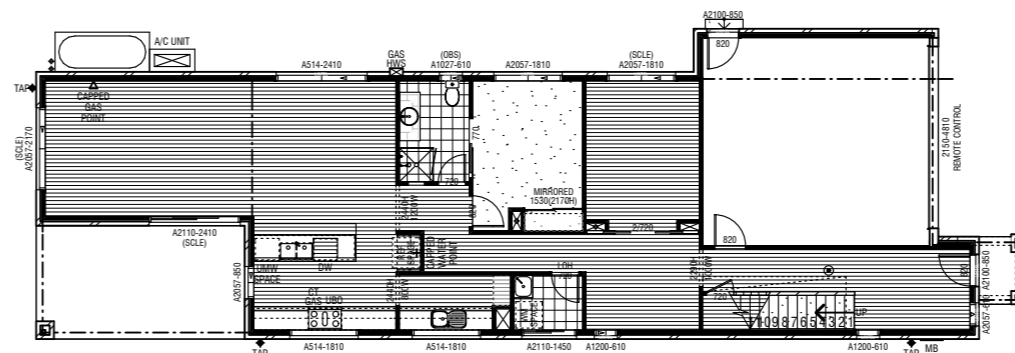
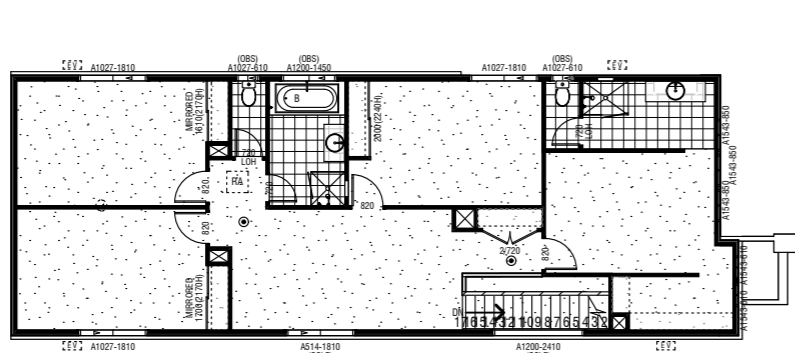
Robe 2



Robe 3



Robe 4



Floor Coverings Legend

- None
- Tiles
- Carpet
- Vinyl
- Other

- NOTES:-
- DIMENSIONS ARE TAKEN FROM FRAME
 - WALL TILE SIZE: _____
 - FLOOR TILE SIZE: _____
 - SKIRTING TILES TO BATHROOMS, LAUNDRY AND WC. TILE SIZE: _____

FITTING LOCATIONS	
ITEM	HEIGHT ABOVE FLR
PAPER HOLDER	820
TOWEL RAIL	910/1600
TOWEL RING	820
SHOWER SOAP HOLDER	1000 NOMINAL

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5	BASIN	600	10	FLOOR WASTE	-

FROM FRAME OFFSETS: (SHOWER ROSE=400 CL), (SHOWER TAPS=575 CL), (SOAP HOLDER=325 CL)

AMENDMENTS	
1	DB 14.03.22 Provide DEB to contain fill
2	DB 17.03.22 Plans revised to basix requirements

NEW HOME CONTRACT 1

RESIDENCE FOR:
Kim Sung Hee
 Lot A , 33 Sharp Street,
 Belmore NSW 2192

Burbank
#noplacelikehome

Burbank Australia (NSW) Pty Ltd ph: (03) 9328 0333 Fx: (03) 9328 0222
 Level 3, 88 Phillip Street, Paramatta NSW 2150
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C

Internal Elevations			
Robertson 255			
Corella			
DESIGN ID:	CONTRACT No: 186670		
SPECIFICATION:	N.S.W.	NHP	NHC WO
S.I. No.	ISSUE	MASTER	NK 13.12.21 DB 25.01.22
GEN:	DG 22/5/18		
H.T.:			

HAND: _____
 SHEET No: **04-3**
14 of 15
 SCALE: 1:200, 1:50
N.S.W.